

BALLYBURKE

Proposed Neighbourhood Centre and Social Housing Scheme

Part VIII Planning Design Statement

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EXECUTIVE SUMMARY

Introduction
Architecture
Civil & Structural
Mechanical & Electrical
Landscape

EXECUTIVE SUMMARY

Introduction

This report is the formal submission by the appointed Design Team presenting a defined housing proposal for planning approval by Galway City Council and the Chief Executive. The proposal is based on best practice design, current building and safety standards and is consistent with 'Quality Housing for Sustainable Communities', 'Sustainable Residential Development in Urban Areas', 'Sustainable Urban Housing: Design Standards for New Apartments' and the Galway City Development Plan for the area. The Planning Section of Galway City Council have been consulted and are satisfied with the proposal. The nature, extent and implications of the proposed works are as follows:

Brief

84 social housing units having a greater focus on age friendly, accessibility, and universally designed units centred around local services. The brief can be defined in two distinct objectives for the proposed site: Housing and Local Centre.

Housing

The proposed brief of 84 residential units is broken up into 71 apartments across four blocks and 13 terraced family units across two blocks to satisfy the previously identified housing need for the area. Of the apartments proposed 40% of these are designed as age friendly / universal design units which by being located adjacent to the local centre services proposed will be very accessible.

There is a high proportion of 3/4 bedroom family houses in the area. With an ever-changing demographic the proposed units, over the long term, will facilitate downsizers moving to more suitable housing, while also living close to their local community.

Local Centre

A masterplan for these lands was prepared, with many aspects adopted into both the previous and current version of the City Development Plan. The key aspect for this masterplan is the designation of a 'Local Centre' provided for the community on this site. The existing residential developments in the area over the past 20 years have been constructed without services.

There is also a large secondary school currently adjacent to the site and a proposed primary school is envisioned for the vacant lands south of the development, all without services and within walking distance.

With this new "Neighbourhood Centre" providing local services and resources, adjoining estates will be able to benefit by means of walking and cycling, while also addressing the growing climate change objectives of Galway City Council. It is intended to provide local centre units, café, crèche, a central plaza space and a landscaped amphitheatre within the development and therefore address the legacy of limited services provided within the wider community. The proposed project will have regard to its surrounding context and aim to greatly improve the permeability and linkages with existing neighbouring housing developments to address the issue of limited local services and create a high quality and sustainable living environment within the area.

The provision of a crèche is specifically identified in the City Development Plan for proposals greater than 75 units. The adjoining PPP site of Clairin (74 units) did not address this need and as such the proposed development aims to provide for both sites, and for the wider community.

EXECUTIVE SUMMARY

Architecture

The proposed development consists of the demolition of one existing dwelling to allow for the consolidation of the lands owned by Galway City Council in order to develop a key new “Local Centre” housing development. The Galway City Development Plan 2017-2023 and the newly adopted development plan 2023-2029 highlights the site as significant in the area and requires the need for a local centre at this location. The focal point of this new local centre will be a central plaza area with local centre units fronting onto it. This will provide for a communal open space which will serve the local and surrounding areas. It is envisioned, in line with the development plan, that local services will be provided in these units possibly as a convenience store, café, hairdresser, community uses etc. The provision of these facilities will also aim to serve the proposed social housing on the site as many of the occupiers will be identified with additional needs accommodated through the construction of Universal Design and Age Friendly units. These units which will aim to house tenants with specific mobility needs, who will benefit greatly from the local services provided in the immediate vicinity, as will residents in the adjoining estates who may require local services within walking distance of their home. The local centre element will also attract existing residents in adjoining housing developments and as such potential links have been identified across the site, into the adjacent estates, namely, Clairin, Maoilin, and Drisin. Residents of these developments may wish to traverse the site to and from the existing secondary school which is directly Southwest of the proposed development and providing opportunity for future linked streets would ensure

potential for increased footfall and activity to the local centre in order to sustain the proposed local centre units.

The proposed layout of the site responds to existing established pattern of development in that the building lines of the proposed apartment blocks South of Maoilin and Drisin align with the existing building line of these estates. The treatment of the proposed building heights in these areas also responds to the adjacent form of 2 storey development in that the apartment blocks step up from 2 storey elements adjacent the existing housing developments to limit any overshadowing concerns and raise up to 3-6 storey elements where applicable in order to ensure a suitable density is achieved on the site.

Terraced housing is proposed to the North East corner of the site to integrate with the existing terraced housing of Drisin whilst also providing for a pedestrian/cycle link onto the existing Ballymoneen Road to the East. Communal parking is provided across the site in line with the requirements of the development plan whilst not dominating the open space environs. A mixed provision of 1, 2, and 3 bed apartments are provided across the site with a large percentage of these units (40%) designed to Universal Design (UD), UD-Plus standards and also Age Friendly suitable accommodation. Further details on the provision of units will be given later in this report.

GCC have liaised closely with the Governments Housing Department’s Architectural Advisor and internal departments of the Local Authority at all stages of the design development. Refer to Appendix A for Architectural drawings.

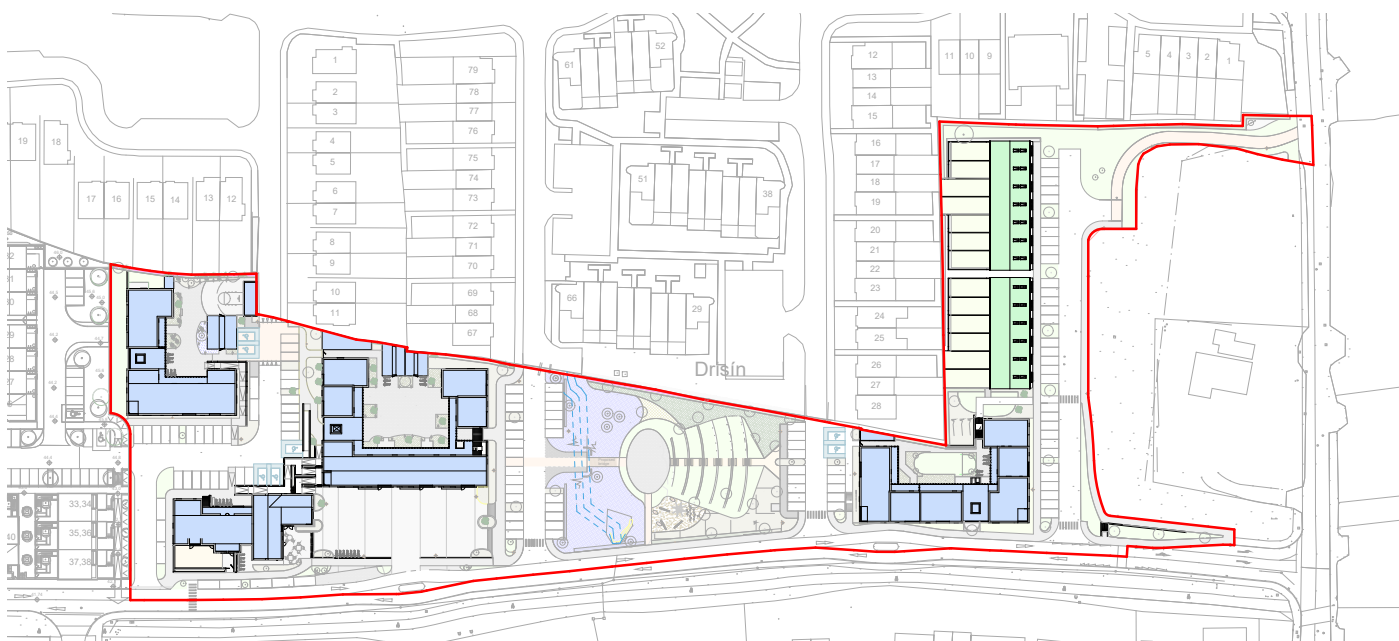


Image 01: Site Plan

EXECUTIVE SUMMARY

Civil & Structural

Hydrological assessments have also been carried out by consultant engineers (Coyle Kennedy) to identify the volume of water traversing the site in order to ensure proposed attenuation volumes are accounted for. Sustainable Urban Drainage systems (SUDS) have been incorporated into the overall landscape proposals to reduce surface water runoff volume and improve water quality before being dispersed into the existing storm water drainage network. Most of the proposed hard surfacing comprises of roofs, paths, roads and car-parking and all surface water from these areas will be collected into a drainage network, re-used and/or attenuated, and allowed to gradually discharge using a hybrid approach of natural filtration and controlled discharge into the existing network. Gravel areas / ponds are proposed as a surface finish on the central open spaces to minimise surface run off and allow for controlled discharging to the local network.

A foul water connection is not currently on site, but the existing network traverses the roadway to the south of the site allowing for connection easily from the site. A pre-connection enquiry was submitted to Irish Water and a satisfactory confirmation letter was received.

Site investigations carried out by the consultant engineer identified some areas of rock across the site which have been addressed by the proposed design. Proposed finished floor levels across the site have been established to minimise the amount of rock excavation whilst also allowing for flexibility in design of proposed foundation systems.

As the site is identified for accelerated methods of construction it is probable that a design-build contract will be engaged to ensure speed of delivery by a suitable contractor. As such, at this stage in the design process, the proposed structural design of the apartment blocks is proposed to be as flexible and adaptable as possible to different structural construction methods by eliminating excessively large spans / openings etc. to allow for varying proposals at contract / tender delivery stage.

Refer Appendix B for all Civil & Structural drawings, documents and reports.

EXECUTIVE SUMMARY

Mechanical & Electrical

Mechanical and Electrical consulting engineers (Varmings) were appointed to ensure compliance with Part L of the Building Regulations and to provide buildings that are Nearly Zero Energy Building (NZEB) compliant. Renewable sources are proposed to meet the energy demands of the buildings where applicable. This will take the form of localised exhaust air heat pump units to the apartment blocks and typical air to water heat pump units for the terraces to provide individual heating requirements of the units.

All communal routes to the apartments are by means of external open decks, thus limiting the need for communal heated spaces and in turn minimising the overall energy consumption of the development. Photovoltaic solar panel arrays shall be installed on the roof of the apartment blocks to provide usable electricity to the block and to satisfy the part L renewable contribution requirement for the landlord areas in the blocks.

Provision for internal water storage and heat pump components have been made within the proposed apartment layouts independent of required storage areas ensuring a variation of proposed heating systems can be accommodated. Cold water storage tanks will be located within each dwelling and installed in accordance with local codes and in accordance with CIBSE guidelines. A supply boost tank and pump room have been accommodated within each apartment block as has provision for individual metering to all apartments in one centralised location per apartment block.

Necessary ducting infrastructure will need to be put in place to supply the new development via a new ESB substation and all associated ducting network with associated micro pillars etc. A centralised location is provided to all apartment blocks to house individual apartment meters before distribution to each unit. EIR may require some minor equipment within the site of which exact locations can be agreed when their infrastructure design is complete.

From preliminary investigation there is an underground Virgin Media network currently running in the footpath to the South of the proposed site. It is anticipated that new underground

comms ducting can run from this existing network to service the proposed development. The exact route of which is to be established during detailed design of the development. This new underground ducting infrastructure will run to a network of footway chambers strategically located in the development within footpaths where possible.

LED street/site lighting is proposed throughout the development typically mounted on 4.5m steel columns. In addition, amenity lighting will be provided from bollard lights in the landscaping and wall mounted lights on the building façade. Photoelectric cells will be utilized to control the light fittings for automatic switching on at dusk and off at dawn.

It is proposed that Electric Vehicle charging infrastructure shall be installed in order to facilitate the installation of an electric vehicle charging system at a number of car parking spaces within the development in line with planning and client requirements. As part of the works EV charging stations can be installed at a portion of the points

Refer to Appendix C for all Mechanical & Electrical drawings, documents and reports.

EXECUTIVE SUMMARY

Landscape

The landscape design has been developed by Dave Ryan Landscape Architects, who have been very cognisant of the existing site conditions, the site elevation, adjacent developments and the local climate when developing their design.

The existing site might be called a brown field site in planning terms, it is a site with a varied topography covered in a layer of overgrowth including meadow, brambles, Gorse, Hawthorn and Willow, natural regeneration is in its early stages. The site is impenetrable in locations, there is surface water in locations which appears to be draining from a residential site to the North, and as with most sites in Galway there are remnants of dry-stone walling and ground rock in places. The site is somewhat overlooked by residential development to the North and West, primarily rear façades. These concrete block boundary walls and white rendered façades are prominent aspects of the current site boundary. Other elements of visual interest along the Ballyburke Road include limestone clad walls facing the public roads that have rounded clad capping incorporated into the wall. Some solid panel fencing is also included in neighbouring developments and is also incorporated with the stone clad walling.

Taking the above into account David Ryan have put forward a carefully considered design for the site which incorporates a plaza, amphitheatre, courtyards and connections to the adjacent housing estates.

Refer to Appendix E for all relevant Landscape drawings, documents and reports.



Image 02: Reference image of amphitheatre



Image 03: Reference image of amphitheatre



Image 04: Landscape Site Plan

A.1: BRIEF

A.1: BRIEF

Design Brief Overview

The Galway City Development Plan 2017-2023 and the newly adopted development plan 2023-2029 identifies the proposed site as significant in the area in forming a local centre for the surrounding neighbourhood. This has formed the key design elements of the site in the provision of a large formal open space plaza as the focal point for the local centre. This plaza will aim to serve as a multi-purpose civic space for use by the immediate and wider ranging community. Provision of local community based centre units (examples could include convenience store, café, hairdresser, dentist, physio etc.) directly fronting onto the plaza will provide activity daily in the use of the plaza whilst also offering the opportunity to hold various events (weekends markets) in the space as required.

Further to the east in the landscaped central open space, an amphitheatre will provide an attractive space for community to use for many purposes (arts, drama, sports etc.). These primary elements of the overall site design will serve to create a sustainable urban community from which the majority of the apartments will radiate from. In order to create the local centre as outlined by the development as a key objective, the site layout has been developed with the potential for future permeability through the site linking to surrounding neighbouring developments.

In accordance with the social housing investment programme it is proposed to provide a total number of 84 social units in a varying mix as outlined in further sections of this report. Whilst developing a social housing scheme in the area does add to the overall provision of social housing in the area the provision of a strong defined local centre with associated amenities serves to offset this concentration of social units by improving the overall community environment.

In line with the Galway City Development Plan a crèche is required to be provided for within the development as it contains more than 75 units and as such a crèche space has been accommodated to the ground floor of Block 02 with an overall gross internal area of 213sqm of which there is a possibility of 150sqm of an internal play space. An external play space of 91sqm has also been provided for to the front of the building also. This enables a crèche to facilitate the care of 40 number children using “Childcare Facilities Guidelines for Planning Authorities 2001” recommendation of 3.7sqm per child exclusive of ancillary spaces.

A.2: SITE CONTEXT

- A.2.1 | Site Description
- A.2.2 | Planning Context
- A.2.3 | History & Archaeology
- A.2.4 | Environmental Considerations
- A.2.5 | Site Ownership
- A.2.6 | Site Surveys
- A.2.7 | Ground Investigations
- A.2.8 | Site Access
- A.2.9 | Site Services

A.2: SITE CONTEXT

A.2.1 Site Description

There is an existing single storey dwelling on one portion of the site which is currently occupied. The site varies in level and is predominantly scrub land apart from one section on which the current dwelling sits. To the North of the site are the residential estates of Drisin and Maoilin. To the west is a recently completed housing scheme, Clairin, and directly south of this is a large secondary school, Colaiste na Coiribe. Directly South of the proposed site is a roadway which accesses off the Ballymoneen Road which provides the only current link / access route to the school and Clairin estate. South of this roadway lies a vacant site and Southeast of this roadway is the residential estate of Leas na Mara. East of the site is the primary access point off the Ballymoneen Road and one number dwelling on a singular site. Blockwork boundary walls define the northern boundary of the site with the adjacent estates of Maoilin and Drisin whilst the West, South and East are temporarily fenced off.

Screening for Appropriate Assessment has highlighted an existing open watercourse traversing the site from North to South which has been further examined in a hydrological survey of the wider drainage network in the area to ensure proposed drainage solutions accommodate for same and suitable attenuation volumes are achieved. Further details can be found in the Civil and Structural engineers information accompanying this report.



Image 05: Aerial View of Site (Note: Clairin is now complete)

A.2: SITE CONTEXT

A.2.2 Planning Context

There are no previous planning applications relevant to the site. The site, as shown in the extract, is circa 1.8ha of zoned residential land. The zoning objective is to provide for residential development and for associated support development, which will ensure the protection of existing residential amenity and will contribute to sustainable residential neighbourhoods. The zoning supports the provision of a residential development on the site concerned.

A.2.3 History & Archaeology

On review of the Historic Environment Viewer on the National Monuments Service website there appears to be no evidence of archaeological implications to the proposed site. The archaeology potential of the site has been discussed with Galway City Council Planners and no area of interest has been noted on the proposed site.

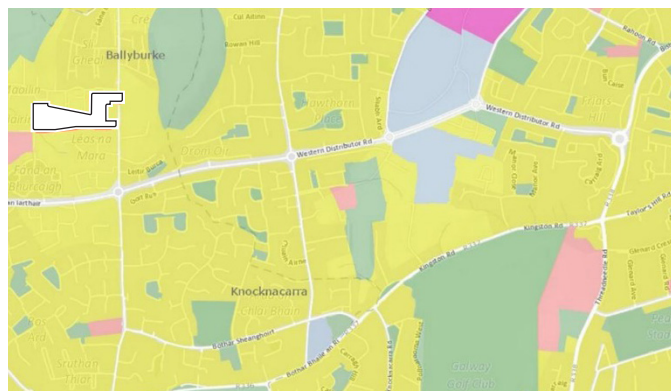


Image 06: Zoning Plan

- Residential
- Low Density Residential
- Community, Cultural & Institutional
- City Centre
- Enterprise, Light Industry & Commercial
- Enterprise, Light Industry & Related Uses
- Recreation & Amenity
- Agriculture & High Amenity
- Agriculture
- Local Area Plan for Ardaun & Murroogh



Image 07: Extract from Historic Environment Viewer

A.2.4 Environmental Considerations

Initial screening for Appropriate Assessment has been carried out by a consultant Ecologist (Envirico) and has identified no major issues requiring attention. A section 250 request for determination has been issued to An Bord Pleanála in order to confirm the validity of the findings outlined in this report and to determine that the screening for appropriate assessment is sufficient in this case and that further appropriate assessment is not required. A satisfactory response has been received

from an Bord Pleanála outlining their decision that further appropriate assessment and the preparation of further studies in the form of a Natura Impact Statement (NIS) is not required for the proposed development. Further details can be found in appendix D.

A.2: SITE CONTEXT

A.2.5 Site Ownership

The entire site is in the possession of Galway City Council and there are no easements, rights of way or other restrictions to be taken account of in the design development. There is an existing single storey dwelling on one portion of the site which is currently occupied by agreement with GCC.

A.2.6 Site Surveys

A topographical site survey was conducted with the associated levels, contours etc. outlined on the accompanying architectural drawings.

A.2.7 Ground Investigations

Ground investigations were conducted to inform the design development of the proposed site as outlined in the accompanying engineers reports.

A.2.8 Site Access

Entrances to the site will be facilitated along the southern access road and by means of one new link to the North of the site linking into the neighbouring housing estate of Maoilin. There is also potential for two additional links as indicated below. These would allow for improved permeability in the future. The proposed development has no impact on the existing access road off the Ballymoneen road and will aid in providing safer access routes for pedestrians travelling from the housing estates to the North to the school to the Southwest of the site.

A.2.9 Site Services

Existing services are all located nearby in the Southern access road and can be connected to as required. Necessary ducting infrastructure will need to be put in place to supply the new development via a new ESB substation and all associated ducting network with associated micro pillars etc. EIR may require some minor equipment within the site of which exact locations can be agreed when their infrastructure design is complete but connection to the existing service lines will be along the Southern access road as necessary. From preliminary investigation there is an underground Virgin Media network currently running in the footpath to the South of the proposed site. It is anticipated that new underground comms ducting can run from this existing network to service the proposed development. The exact route of which is to be established during detailed design of the development. This new underground ducting infrastructure will run to a network of footway chambers strategically located in the development within footpaths where possible. A foul water connection is not currently on site, but the existing network traverses the roadway to the South of the site allowing for connection easily from the site.

A pre-connection enquiry was submitted to Irish Water and a satisfactory confirmation letter was received. Supporting documentation can be found in the consulting engineers information package accompanying this report.

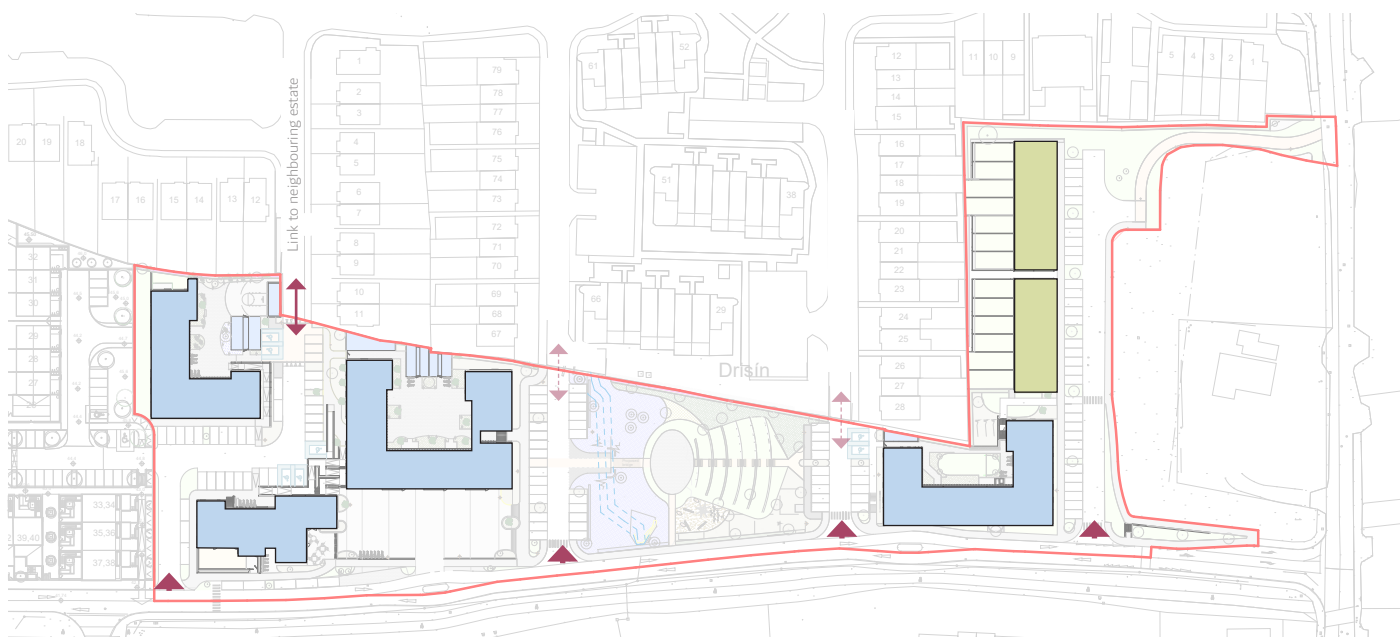


Image 08: Site Access

A.3: SITE STRATEGY

- A.3.1 | Spatial Strategy
- A.3.2 | Landscape Strategy
- A.3.3 | Design Strategy

A.3: SITE STRATEGY

A.3.1 Spatial Strategy

The proposed development has been designed in line with the Urban Design Objectives as discussed in the 'Quality Housing for Sustainable Communities 2007' and the 'Urban Design Manual 2009'. The buildings have been designed in context of the location, character and setting of the site.

Continuing the line of development from the existing estates to the North and West of the proposed site along with the opening up the one proposed link will greatly improve the overall permeability of the development and benefit the neighbouring developments, by providing a quick and easy connection to the new proposed plaza and local centre area.

Maintaining the building lines responds naturally to the existing built environment and routes down towards then new local centre plaza will form a new centralised hub for the community.

The massing and scale of the proposed design is sensitive to the existing built fabric and respective of the residential properties to the North. Careful attention has been given to the structure of the site layout to create a welcoming and accessible public realm that encourages social interaction within the vicinity of the proposed plaza.

A.3.2 Landscape Strategy

The proposed development takes into consideration the topography of the site. The site varies in level with very few mature trees on site. Where possible, these have been retained. The existing culvert present on site has been surveyed and as recommended by the consulting engineers, will be maintained and kept independent of the proposed drainage strategy of the site. Locally opening-up and cleaning out of the culvert will be carried out to safeguard design flow capacity.

Provision has been made for soft and hard landscaping in public open spaces with low maintenance requirements. Proposed planting will be mostly indigenous species and preference will be given to those likely to provide an attractive wildlife habitat. Pollinator / wild-flower planting will be used where possible in green spaces not requiring access. A Sustainable Urban Drainage System (SUDS) has been incorporated into the overall landscape proposals to reduce surface water run-off volume and improve water quality. Permeable paving and gravel sections / rainwater attenuation elements are proposed to the central proposed open space. Extents are shown on the Landscape Plan and further detail can be found in the Engineers / landscape architects reports.

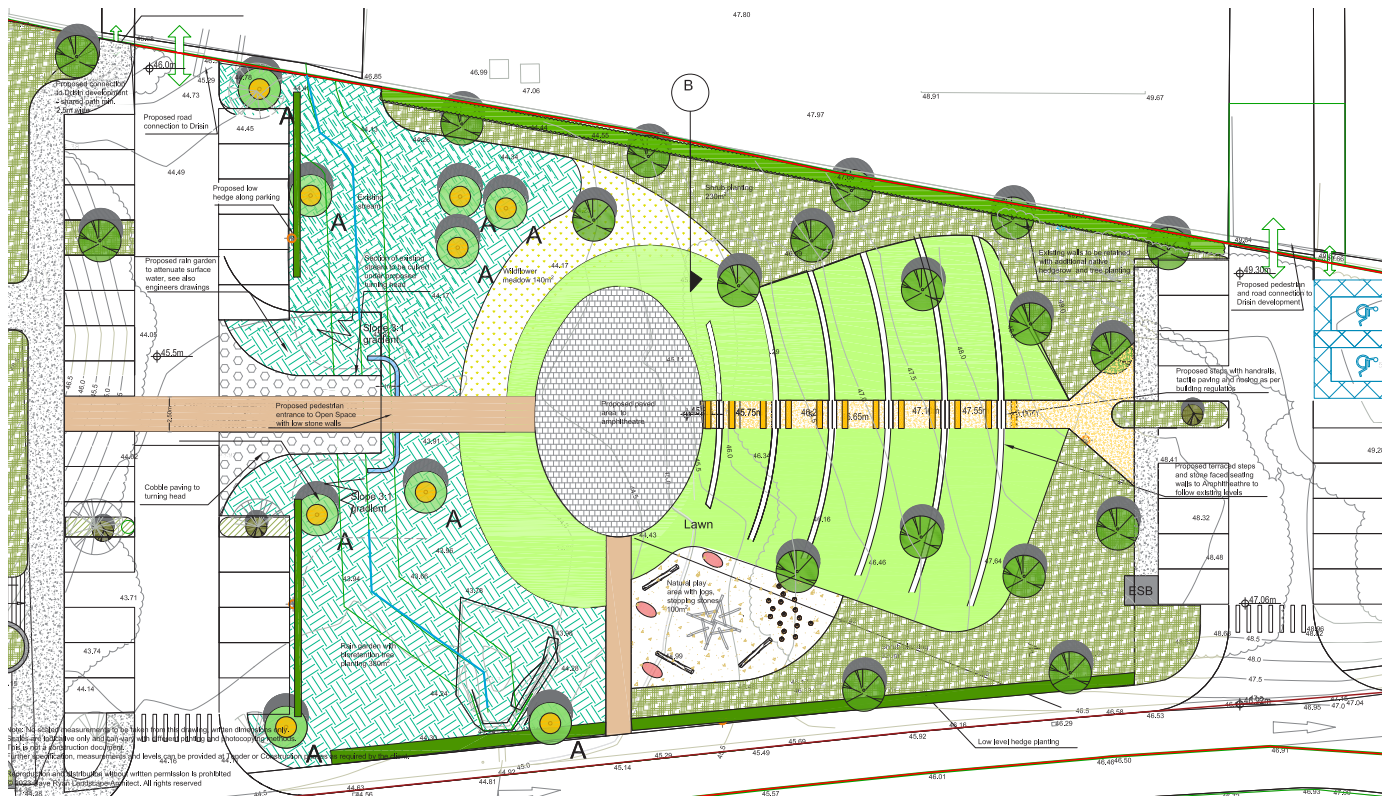


Image 09: Open Space Landscape Plan

A.3: SITE STRATEGY

A.3.3 Design Strategy

The project looks to create a new 'Local Centre' housing development. The focal point of which is a central plaza area with local centre units fronting onto it. It is envisioned, in line with the development plan, that local centre services will be provided in these units such as a small scale convenience store, small scale café, hairdresser, community spaces etc. The Galway City development plan stipulates that the provision of units in local/neighbourhood centres shall be of a small scale convenience nature and avoid the provision of larger retail style units emphasising the use of local community based facilities. These may also take the form of local small scale specialist medical services and the overall provision of these facilities will aim to serve the proposed social housing on the site.

As noted in the executive summary the proposed layout responds to existing established pattern of development in that the building lines of the proposed apartment blocks south of Maoilin and Drisin align with the existing building line of these estates. The treatment of the proposed building heights in these areas also responds to the adjacent form of 2 storey development in that the apartment blocks step up from 2 storey elements adjacent the existing housing developments to limit any overshadowing concerns and raise up to 3-6 storey elements where applicable in order to ensure a suitable density is achieved on the site.

The project is divided into three main briefs:

- Social Housing
- Universal Design & Age Friendly Units
- Local Centre: Plaza and Amphitheatre

Social Housing

The scheme provides 84 social residential units divided into 71 apartments across four blocks and 13 terraced family units across two blocks, to satisfy the previously identified needs for the area. There is a high proportion of existing 3/4 bedroom family houses in the area. With an ever-changing demographic the proposed units over the long term will facilitate downsizers moving to more suitable housing, while also living close to their local community.

Universal Design & Age Friendly Units

Of the apartments proposed 40% of these are designed to be Universal Design / Age Friendly Units which will be very accessible due to their convenient location adjacent to the local centre services proposed.

Local Centre: Plaza and Amphitheatre

The plaza will be at the heart of the new development, providing a neighbourhood centre and open area for people to gather, socialize, and participate in community events. It will become a central meeting point for residents, visitors, and workers, fostering a sense of community and connection. .

The plaza will also serve as a visual centrepiece for the development, enhancing its overall aesthetic appeal and will ensure easy navigation across the site.

Located centrally on the site the predominant function of the amphitheatre will provide a link between the two residential zones on the site. The amphitheatre will also provide a space for more formal gatherings, like meetings, musical performances, plays, etc. or can act as a comfortable spot for a picnic or for reading a book or for just getting away from the more urban setting.



Image 010: Local Centre

A.4: DESIGN

A.4.1 | Apartments

A.4.2 | Houses

A.3.3 | Boundary Treatment

A.3.4 | Building Management

A.3.5 | Public Art

A.4: DESIGN

A.4.1 Apartments

As outlined above a wide range of apartment types have been accommodated across the site in order to meet Galway City Councils complex housing needs. Galway City Council currently have a significant number of applicants on the housing waiting list with needs for smaller household provisions and so the predominant provision of units consists of 1 and 2 bed apartments. Galway City Council is also cognisant of the fact that there is an ageing population for which housing is also required and as such the design of the apartments have been developed to cater for a wide range of tenants with varying levels of mobility/disability. The table below taken from the Galway City Council 2022 Housing annual report highlights the requirement for provision of units specifically catered for those with complex mobility/disability needs. Therefore, this project aims to alleviate a proportion of this requirement through the provision of 40% of units as Universal Design/Age Friendly to cater for this need. Gross internal floor areas as outlined on the accompanying architectural layouts outline the proposed unit areas in detail. Where a significant uplift in proposed area is provided this is countered by other units being designed close to minimum requirements. It also allows for future adaptation and adjustment as necessary to accommodate ageing tenants whose mobility issues may deteriorate over time. Units have also been developed to Universal Design (accommodating age friendly design principles) and Universal Design Plus standards to ensure dwellings fit for purpose for tenants with a wide range of mobility needs as required by the Galway City Council Housing need report.

Basis of Need	Galway City
Requires Rent Supplement to Provide for Accommodation Needs	287
Homeless, Institution, Emergency Accommodation or Hostel	102
Disability Requirement - Physical	50
Disability Requirement - Sensory	10
Disability Requirement - Mental Health	53
Disability Requirement - Intellectual	38
Disability Requirement – Unspecified	1
Exceptional Medical or Compassionate Grounds	1
Overcrowded Accommodation	13
Involuntary Sharing	177
Concluded that Mortgage is Unsustainable	3
	735

A.4.2 Houses

Construction of the houses will be as described above, but generally with conventional pitched roofs finished in slate. These pitch roofs will be built using either pre -fabricated timber roof trusses or cut timber roofs. These options will be reviewed in further detail at the next stage. Finishes and materials shall be hard wearing, weather proofed and the palate shall reflect the local context and geology. No pebble dash is proposed. Internal planning of houses is fully compliant with the various DoHPLG guidelines. Most houses have the kitchen to the front of the house, enabling passive supervision of public spaces during the day and early evening, with the living rooms to the backs of the houses and opening with double doors onto the back gardens.

A.4.3 Boundary Treatment

The existing boundary walls are generally constructed from 100mm thick masonry blockwork panels and 450mm thick blockwork piers. It is not envisioned to disturb existing blockwork boundary walls with adjoining neighbouring estates except at locations of new proposed entrances and linkages. Overall boundary treatments are intended to open the central open space up to promote use of the space. Further information and detail on the boundaries can be found in the landscape Architects report in appendix E.

A.4.4 Building Management

A Building Management Plan will be agreed at a later stage to ensure facilities are kept clean, safe, and well-lit across the site. Input will be required from proposed building administrators to better inform the management plan in terms of refuse management specifically for collection days as communal refuse storage is proposed to all apartment blocks.

A.4.5 Public Art

The 1% Art project has been discussed with the Arts Officer and it is proposed that a brief for an Artist will focus on the potential for connection and permeability. There is a great opportunity to connect existing residential communities to the new Local Centre, crèche, local centre units, plaza, amphitheatre and future proposed primary school along with the existing secondary school.

A.4: DESIGN

A.4.6 Apartment & House Elevations

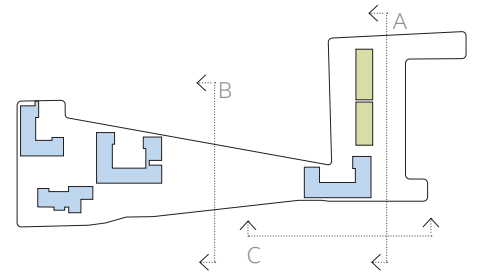


Image 011: Elevation A

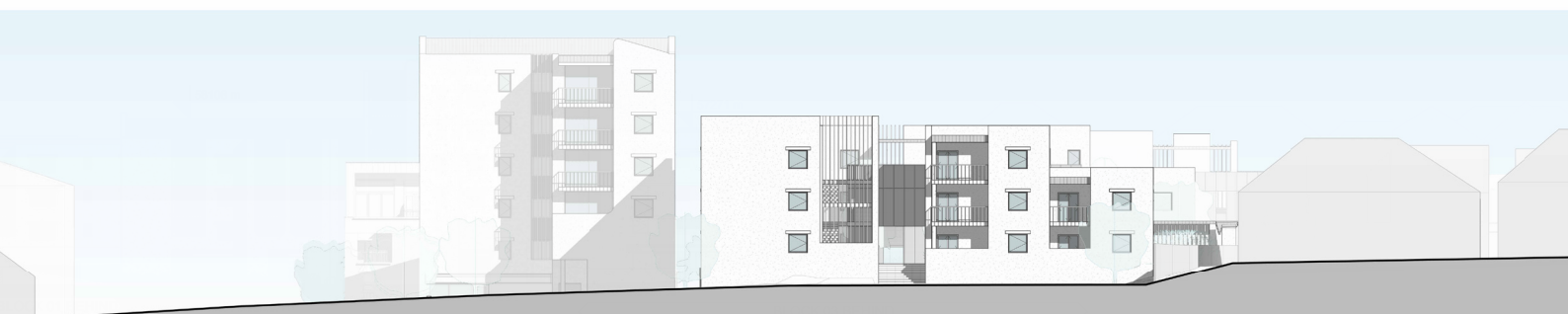


Image 012: Elevation B



Image 013: Elevation C

A.4: DESIGN

A.4.6 Apartment & House Elevations

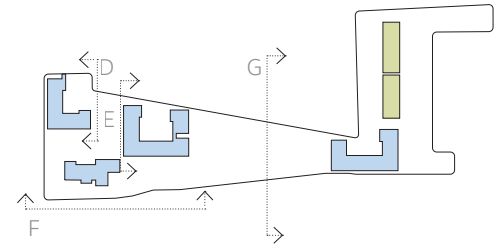


Image 014: Elevation D



Image 015: Elevation E



Image 016: Elevation F

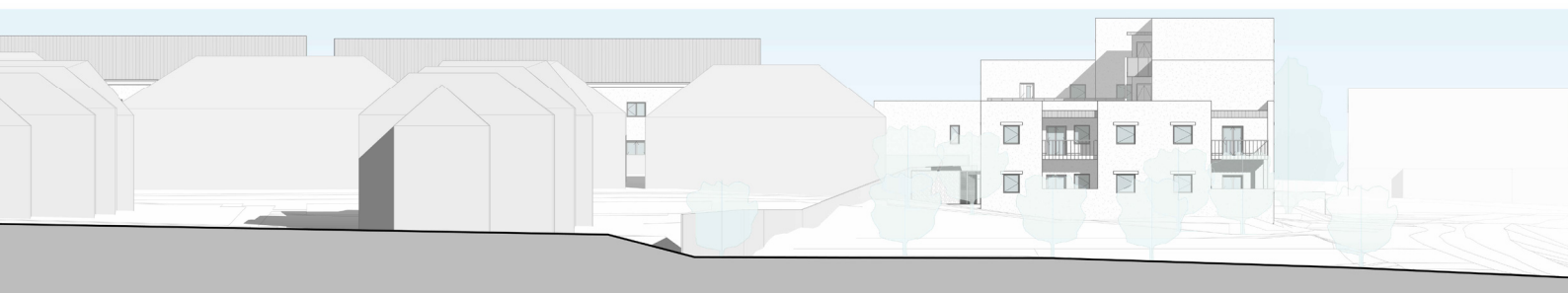


Image 017: Elevation G

A.5: DEVELOPMENT PLAN STANDARDS

- A.5.1 | Density & Plot Ratio
- A.5.2 | Schedule of Accommodation
- A.5.3 | Safeguarding Higher Standards
 - A.5.4 | Public Open Space
 - A.5.5 | Private Open Space
- A.5.6 | Car Parking Provisions
- A.5.7 | Cycle Parking Provisions
- A.5.8 | Material & Finishes

A.5: DEVELOPMENT PLAN STANDARDS

A.5.1 Density & Plot Ratio

The proposed site lies within the outer suburbs of the city. The Development Plan outlines the plot ratio for mixed use residential zoned land as 1:1 and this shall not normally be exceeded. In reference to 'Outer Suburban' sites, section 5.11 of the Department of Environment Sustainable Residential Development in Urban Areas Guidelines for Planning Authorities (DECLG 2009) states: "The greatest efficiency in land usage on such lands will be achieved by providing net residential densities in the general range of 35- 50 dwellings per hectare and such densities (involving a variety of housing types where possible) should be encouraged generally". Proposed is a density of 47 units/hectare and a plot ratio of 0.6:1. The plot ratio of the proposed development is in accordance with good planning, the objectives of the Galway City Development Plan.

A.5.2 Schedule of Accommodation

The proposed design consists of 4 number apartment blocks and 13 number terraced houses in a mix of 1, 2 and 3 bed apartments and 3 bed terraced houses as outlined on the detailed Schedule of Accommodation on the following page.

A.5.3 Safe Guarding Higher Standards

As per the Sustainable Urban Housing: Design Standards for New Apartments 2018, a 10% uplift in the minimum floor area is required to ensure apartments are not built down to minimum standards. The 10% may be applied to one or more units but in this instance has been applied to a mix of apartments.

A.5.4 Public Open Space

Public / communal open space is provided for by means on the new proposed central plaza and the central landscaped open space as shown on the accompanying drawings. The Galway City development plans requires a 15% provision of the overall developmental area which has been exceeded in the proposal by provision of 3,377sqm of communal open space. It is envisioned that this plaza space and landscaped central open space will greatly benefit the local community and provide for communal areas to congregate and be utilised by the proposed and neighbouring developments. The proposed and potential future connecting linkages to the North will ensure these spaces are actively used throughout the day whilst the incorporation of local centre amenity units will ensure the local centre provides for a sustainable urban addition to the wider local community.

A.5.5 Private Open Space

Private open space is generally provided at a rate of minimum 50% of the gross internal floor area of the proposed dwelling. A portion of the dwellings will exceed this due to the introduction of rear alleys to access private gardens. Apartments shall be provided with balconies, in line with the minimum guidelines stated in the Sustainable Urban Housing: Design Standards for New Apartments.

A.5.6 Car Parking Provisions

117 No. car parking spaces have been provided for across the site in compliance with the "Galway city development plan 2023-2029" and the "Sustainable Urban Housing: Design Standards for New Apartments 2023" providing for the maximum number of spaces (113) allowable for the proposed number of residential units with additional spaces to accommodate the local centre. Given the strategic location of the development and with the provision of new local centre services it is envisioned that the maximum (113) spaces for the residential units will not be required and so a surplus of car parking spaces from the residential parking will aim to additionally serve the local centre units/creche accordingly. Given the local centre units will be used predominantly by the local surrounding residents, a slightly reduced provision of parking for these units is envisioned and it serves to promote and encourage walking, cycling, scooting etc. to use these local services. Car sharing facilities are also proposed within the site, with the potential to provide up to 2 No. cars. Car-sharing will be open to both residents and the wider population of Galway City. Depending on usage levels, the provision of additional cars can be considered in the future. 7 No. parking bays for mobility impaired users have been included across the development also. A full and detailed breakdown of car parking provisions can be found in section 2.5.4 of the Traffic and Transport Assessment with further supporting documentation providing justification for more sustainable methods of travel to and from the site provided in the Mobility Management Plan in Appendix F.

Provision for ducting for EV charging stations to be accommodated in various locations across the site as outlined on the accompanying engineers drawings in appendix C. This ducting will enable the installation and provision of electric vehicle charging points across the site to serve the potential current and future demand for EV charging on site.

A.5.7 Cycle Parking Provisions

Safe enclosed bicycle storage units are provided for in all apartment blocks as per layouts in line with development plan standards with communal visitor cycle parking provided for adjacent all apartment blocks also. Refer to architectural layouts in appendix A for further details.

A.5: DEVELOPMENT PLAN STANDARDS

Schedule of Accommodation

	Unit Type (APT)	General	Age Friendly	UD +	UD
Block 01	1 Bed / 2 person	2			
	2 Bed / 3 Person	1			
	2 Bed / 4 Person	4	3		
	3 Bed / 5 Person			3	
	Total		13		

	Unit Type (APT)	General	Age Friendly	UD +	UD
Block 02	1 Bed / 2 person	10			
	2 Bed / 3 Person	5			
	2 Bed / 4 Person	3			
	3 Bed / 5 Person				
	Total		18		

	Unit Type (APT)	General	Age Friendly	UD +	UD
Block 03	1 Bed / 2 person	6			
	2 Bed / 3 Person				
	2 Bed / 4 Person	4	9		
	3 Bed / 5 Person			3	
	Total		22		

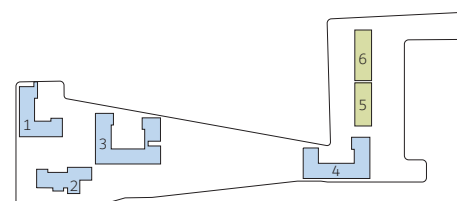
	Unit Type (APT)	General	Age Friendly	UD +	UD
Block 04	1 Bed / 2 person	7			
	2 Bed / 3 Person				
	2 Bed / 4 Person	1	4		2
	3 Bed / 5 Person			4	
	Total		18		

	Unit Type (House)	General	Age Friendly	UD +	UD
Block 05	3 Bed / 5 person	6			
	Total		6		

	Unit Type (House)	General	Age Friendly	UD +	UD
Block 05	3 Bed / 5 person	7			
	Total		7		

Overall Total	56	16	10	2	
		84			

Summary by Percentage				
Apartments				
25	1 Bed / 2 person			35%
6	2 Bed / 3 Person			8%
12	2 Bed / 4 Person			17%
16	2 Bed / 4 Person – Age Friendly Units			23%
2	2 Bed / 4 Person – Universal Design			3%
10	3 Bed / 5 Person – Universal Design +			14%
71				100%
Houses				
13	3 Bed / 5 person (Terraced House)			



A.5: DEVELOPMENT PLAN STANDARDS

A.5.8 Material & Finishes

Preliminary discussions have taken place with the design team in regard to the specification of construction materials. As the site is identified for accelerated methods of construction it is probable that a design-build contract will be engaged to ensure speed of delivery by a suitable contractor. As such, at this stage in the design process, the proposed structural design of the apartment blocks is proposed to be as flexible and adaptable as possible to different structural construction methods by eliminating excessively large spans / openings etc. to allow for varying proposals at contract / tender delivery stage.

The building envelopes are intended to be simple in configuration, avoiding an excessive number of features (corner windows, bay windows, projecting balconies etc.) that

add to building complexity. Finishes and materials shall be hard wearing, weather proofed and the palate shall reflect the local context and geology. There is one key material proposed that is a rough cast plaster but no pebble dash or red brick is proposed. Other materials consist PPC aluminium, standing seam roofs, stainless steel etc.

Please refer to Architect's drawings for additional detail and locations of proposed materials.



Image 018: Example of light weight mesh screening system to apartment circulation decks



Image 019: Example of rough cast render finish



Image 020: Example of standing seam roof above masonry finish



Image 021: Example of timber screening to circulation cores

A.6: STATUTORY

A.6.1 | Consultation with GCC Planning &
Interdepartmental Coordination

A.6.2 | Disability Access Certificates (DAC)

A.6.3 | Fire Safety Certificates (FSC)

A.6: STATUTORY

A.6.1 Consultation with GCC Planning & Interdepartmental Coordination

The proposed scheme has been reviewed at several intervals during design development with Galway City Council Planning Department, as well as signed off with the Water Services, Roads and Parks Departments, and issues raised in the course of such consultations have been addressed by the Design Team.

A.6.3 Fire Safety Certificates (FSC)

Galway City Council sought to appoint a suitably qualified and experienced Fire Safety Engineer for Design Stage review up to Planning Stage, including preparation of Fire Safety Certificate (FSC) and Disability Access Certificate (DAC). Ryan Associates Consulting Engineers were the appointed consultant and carried out initial high-level reviews of the proposed design. Minimal changes to the design were required with any large fire engineering solutions designed out of the scheme to ensure a cost effective proposal. Detailed audits will be undertaken at the next stage.

A.6.2 Disability Access Certificates (DAC)

Initial accessibility audits have been carried out on the design of units and proposed site layout through a suitably qualified specialist consultant. Any DAC applications will be assessed with regards to Access and Use of dwellings and further detailed audits will be undertaken at the next stage, as will the official allocation of disabled parking spaces.

A.7: CONCLUSION

A.7: CONCLUSION

The proposal seeks to address and meet some of the critical need for social housing in the Galway City area. The proposed development is fully consistent with the policies, objectives and standards of the Galway City Development Plan 2023-2029. Its public spaces and community facilities will enrich the neighbourhood and, in the future, will provide natural linkages to adjoining developments. The proposal provides a suitable mix of housing, separation distance and car parking together with the quantitative requirements for private and public open space, all in accordance with the provisions of the statutory Development Plan.

The overall form and layout responds to the existing nature and context of the site and satisfactorily integrates into its urban landscape. Furthermore the density proposed is appropriate for this city suburb location and has regard to the pattern of permitted and adjoining development.



A.8: APPENDIX LIST

- A:** Architect | GCC Architects Department
- B:** Civil & Structural Engineer | Coyle Kennedy
- C:** Mechanical & Electrical Engineer | Varmings
- D:** Ecologist | Envirico
- E:** Landscape Architect | Dave Ryan
- F:** Traffic Impact Assessments & Mobility Management Plan | ORS
- G:** Road Safety Audit | CST Group